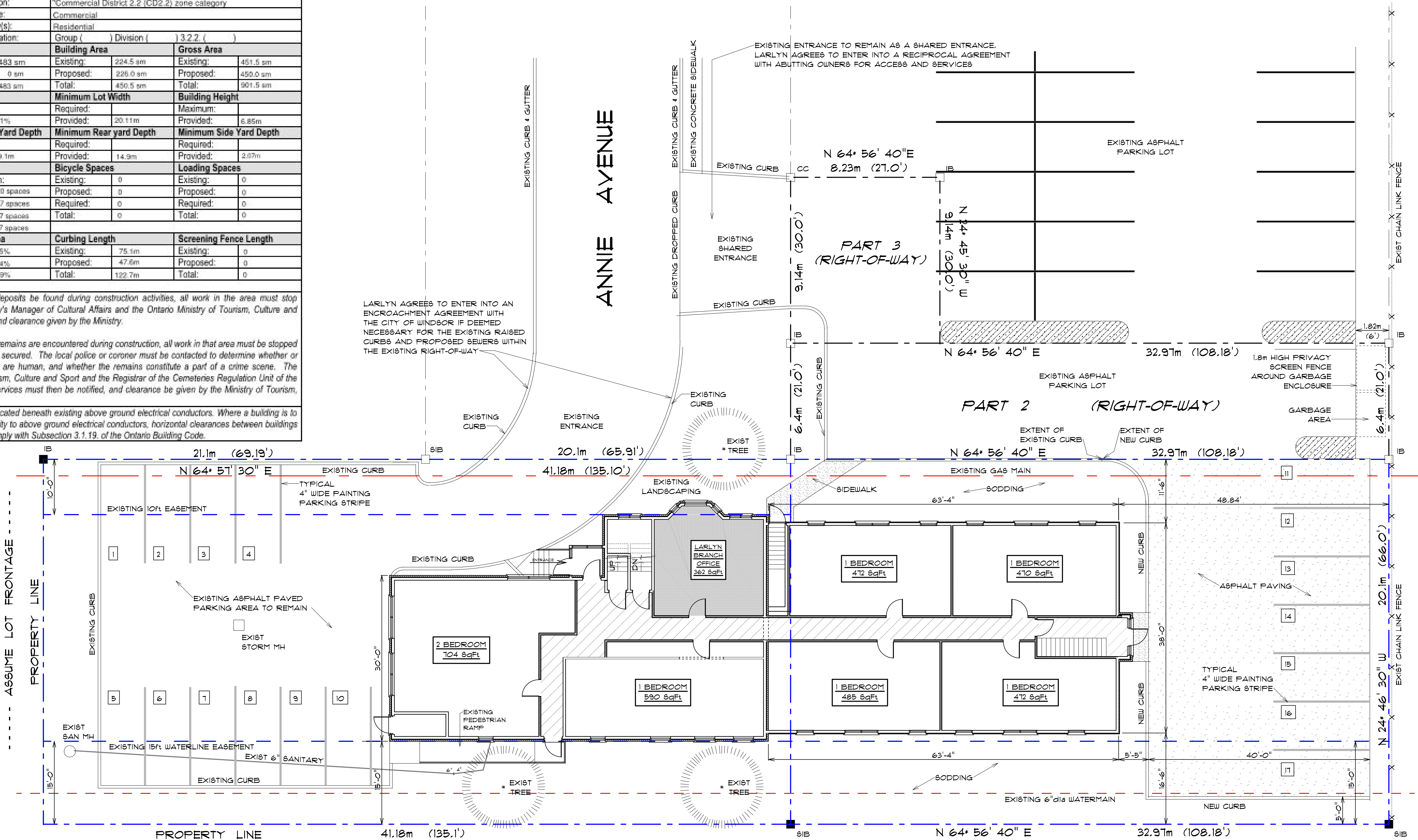


Item	Site Data Matrix			OBC Reference
1	Project Description: Interior renovation to existing (2) storey commercial building and construction of a (2) storey Multiple Dwelling Addition for a combined use building (Multiple Dwelling / Office Space)			☐ Part 3 ☒ Part 9 ☐ Part 11
2	Zoning Designation:	Commercial District 2.2 (CD2.2) zone category		
3	Existing Land Use:	Commercial		
4	Major Occupancy(s):	Residential		
5	Building Classification:	Group ()	Division ()	3.2.2. ()
6	Site Area	Building Area	Gross Area	
	Existing: 1483 sm	Existing: 224.5 sm	Existing: 451.5 sm	
	Proposed: 0 sm	Proposed: 226.0 sm	Proposed: 450.0 sm	
	Total: 1483 sm	Total: 450.5 sm	Total: 901.5 sm	
7	Lot Coverage	Minimum Lot Width	Building Height	
	Maximum:	Required:	Maximum:	
	Provided: 31%	Provided: 20.11m	Provided: 6.85m	
8	Minimum Front Yard Depth	Minimum Rear yard Depth	Minimum Side Yard Depth	
	Required:	Required:	Required:	
	Provided: 19.1m	Provided: 14.3m	Provided: 2.07m	
9	Parking	Bicycle Spaces	Loading Spaces	
	Use Classification:	Existing: 0	Existing: 0	
	Existing: 10 spaces	Proposed: 0	Proposed: 0	
	Proposed: 7 spaces	Required: 0	Required: 0	
	Required: 17 spaces	Total: 0	Total: 0	
10	Landscaped Area	Curbing Length	Screening Fence Length	
	Existing: 15%	Existing: 75.1m	Existing: 0	
	Proposed: 14%	Proposed: 47.6m	Proposed: 0	
	Total: 29%	Total: 122.7m	Total: 0	

Should archaeological deposits be found during construction activities, all work in the area must stop immediately and the City's Manager of Cultural Affairs and the Ontario Ministry of Tourism, Culture and Sport must be notified, and clearance given by the Ministry.

In the event that human remains are encountered during construction, all work in that area must be stopped immediately and the site secured. The local police or coroner must be contacted to determine whether or not the skeletal remains are human, and whether the remains constitute a part of a crime scene. The Ontario Ministry of Tourism, Culture and Sport and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer Services must then be notified, and clearance be given by the Ministry of Tourism, Culture and Sport.

A building shall not be located beneath existing above ground electrical conductors. Where a building is to be constructed in proximity to above ground electrical conductors, horizontal clearances between buildings and conductors shall comply with Subsection 3.1.19. of the Ontario Building Code.

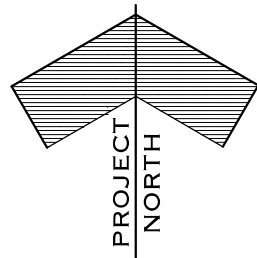


SITE CONCEPT PLAN SCALE: 1" = 30'

REVISIONS			REVISIONS		
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
1	2025.05.08	STAGE 2 SITE CONSULTATION LETTER REVISIONS	7		
2			8		
3			9		
4			10		
5			11		
6			12		

GENERAL NOTES:

- 1.) THESE DRAWINGS ARE NOT TO BE SCALED.
- 2.) THESE DRAWINGS SHOW INTENT ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT CONDITIONS OR LOCATIONS.
- 3.) CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON JOB AND BE RESPONSIBLE FOR SAME, AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE COMMENCING ANY CONSTRUCTION.
- 4.) ALL WORK OF THE CONTRACT SHALL BE IN ACCORDANCE WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE AND LOCAL MUNICIPAL BUILDING DEPARTMENT.



Larlyn
PROPERTY MANAGEMENT LTD.
PARTNERS IN MANAGEMENT SOLUTIONS

CONSULTANT:

OFFICE / RESIDENTIAL USE
DEVELOPMENT
2525 ANNIE STREET
WINDSOR ONTARIO

DRWG TITLE:
SITE CONCEPT PLAN
SITE MATRIX

DRAWN BY BPJC	PROJECT No. 24-015
CHECKED	REV. No. 1
SCALE AS NOTED	DRWG No. SK 1
DATE 2025.06.12	
REVISED 2025.09.08	
FILE No.	



NORTH ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

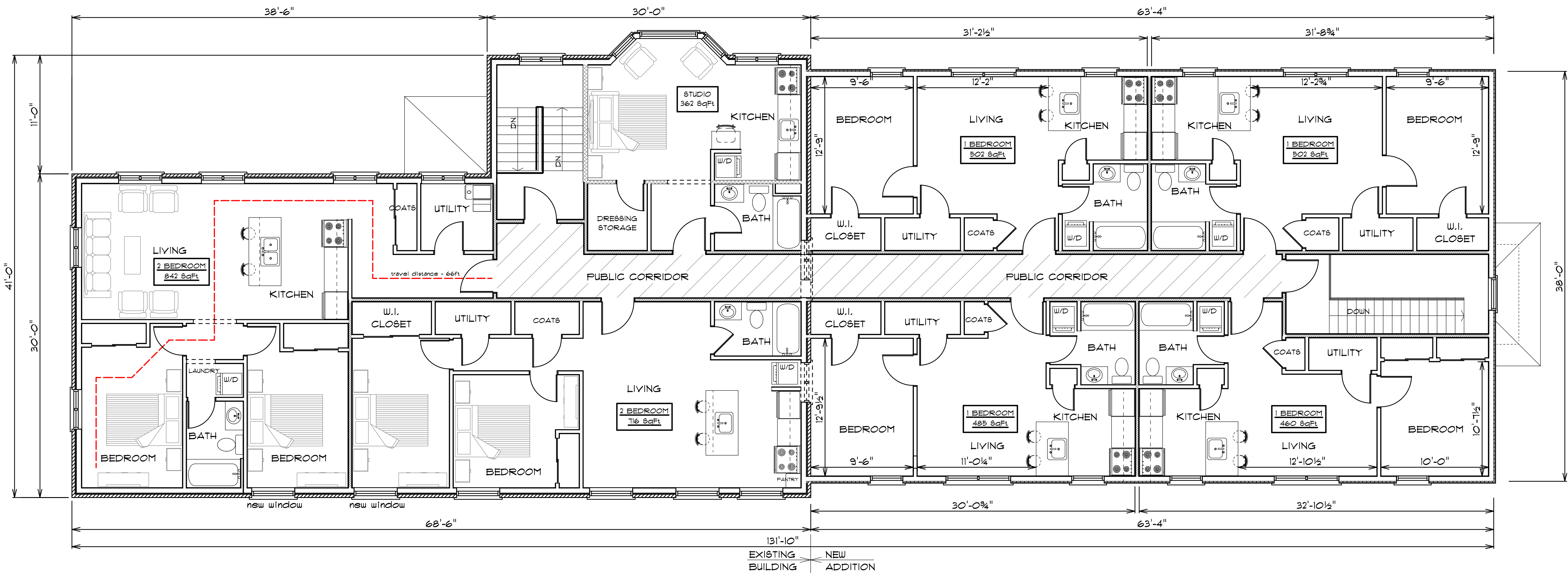
SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

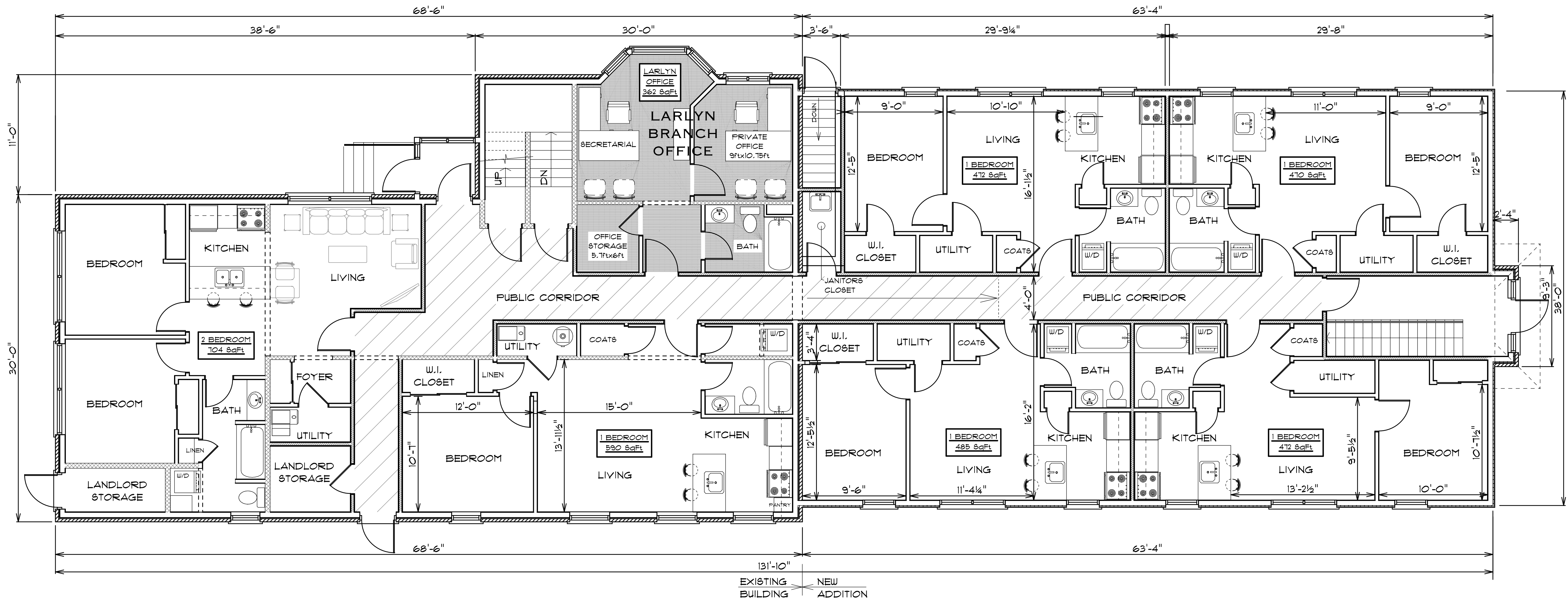
REVISIONS			REVISIONS			GENERAL NOTES: 1.) THESE DRAWINGS ARE NOT TO BE SCALED 2.) THESE DRAWINGS SHOW INTENT ONLY OR EXISTING CONDITIONS AND MAY NOT REFLECT EXACT CONDITIONS OR LOCATIONS 3.) CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON JOB AND BE RESPONSIBLE FOR SAME, AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE COMMENCING ANY CONSTRUCTION 4.) ALL WORK OF THE CONTRACT SHALL BE IN ACCORDANCE WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE AND LOCAL MUNICIPAL BUILDING DEPARTMENT		CONSULTANT:	OFFICE / RESIDENTIAL USE DEVELOPMENT 2525 ANNIE STREET WINDSOR ONTARIO	DRAWN BY: BPJC		PROJECT No. 24-015
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION					CHECKED	REV. No.	
1			7							SCALE	AS NOTED	
2			8							DATE	2025.06.12	
3			9							REVISED		
4			10							FILE No.		
5			11							DRWG No.		
6			12							SK3		
										DRWG TITLE: BUILDING ELEVATIONS		



- 1 - STUDIO UNIT 362sf (33.6sm)
1 - 1 BEDROOM UNIT 460sf (42.7sm)
1 - 1 BEDROOM UNIT 485sf (45.1sm)
2 - 1 BEDROOM UNITS 502sf (46.6sm)
1 - 2 BEDROOM UNIT 716sf (66.5sm)
1 - 2 BEDROOM UNIT 842sf (78.2sm)
7 APT UNITS TOTAL - UPPER FLOOR

UPPER FLOOR PLAN

SCALE: 3/16" = 1'-0"



- 1 - OFFICE COMPONENT 362sf (33.6sm)
1 - 1 BEDROOM UNIT 470sf (43.7sm)
2 - 1 BEDROOM UNIT 472sf (43.9sm)
1 - 1 BEDROOM UNIT 485sf (45.1sm)
1 - 1 BEDROOM UNIT 590sf (54.8sm)
1 - 2 BEDROOM UNIT 702sf (65.2sm)
6 APT UNITS TOTAL - GROUND FLOOR

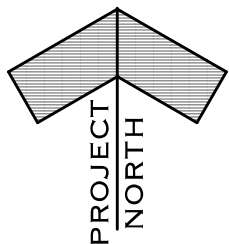
GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

REVISIONS			REVISIONS		
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
1			7		
2			8		
3			9		
4			10		
5			11		
6			12		

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OFFICE / RESIDENTIAL USE
DEVELOPMENT
2525 ANNIE STREET
WINDSOR ONTARIO

DRWG TITLE:
GROUND FLOOR PLAN LAYOUT
UPPER FLOOR PLAN LAYOUT

DRAWN BY

BPJC

CHECKED

AS NOTED

DATE

2025.06.12

REVISED

FILE No.

PROJECT No.

24-015

REV. No.

DRWG No.

SK2